

PLN2024-0006

Jan 30 2024



CITY OF EDMONDS
DEVELOPMENT SERVICES
DEPARTMENT

CITY OF EDMONDS



Land Use Application #1433954 - Shelley ADU

[illegible]



Land Use Application #1433954 - Shelley ADU

Project Contact

Company Name: Gabbert Architects

Name: Mike MikeG

Email: mike.g@gabbertarchitects.com

Address: 20011 Ballinger Way NE
211

Phone #: (206) 367-3600

Shoreline WA 98155

Project Type

New

Activity Type

Use Approval

Scope of Work

Accessory Dwelling Unit - ADU

Project Name:

Shelley ADU

Description of Work:

THIS PROJECT IS AN ADDITION OF AN ACCESSORY DWELLING UNIT IN THE LOCATION OF THE EXISTING GARAGE FOR A SINGLE-FAMILY HOME. the FOUNDATION FOR THE GARAGE WILL BE REUSED, BUT THE FRONT OF THE GARAGE IS EXTENDED TO PROVIDED ENOUGH INTERIOR SPACE FOR FOUR PARKING SPACES AND THE A.D.U. IS ABOVE THAT GARAGE. THE SITE IS VERY UNIQUE IN THAT IT OVERLOOKS A NATURAL DRAINAGE BASIN. BECAUSE OF THIS CONDITION, WE WANT TO REUSE THE AREAS ALREADY COVERED BY BUILDINGS OR DRIVEWAY AREA. THIS PROJECT SCOPE ALSO CONSISTS OF A LIMITED RENOVATION OF THE INTERIOR ON THE MAIN LEVEL OF A SINGLE-FAMILY HOME AS WELL AS NON-STRUCTURAL MATERIAL AND FACADE DESIGN ELEMENTS. THERE IS MINOR ROUTING OF PLUMBING AND MECHANICAL DUCTING.

Project Details

Accessory Dwelling Unit Information

Gross square feet - accessory dwelling unit 800

Gross square feet - primary residence 2513

Quantity and Size Specifications

Number of proposed off street parking spaces 4

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20011 Ballinger Way NE Ste 211
Shoreline, Washington 98155
(206) 367-3600 – Home Office

EDMONDS ZONING SUMMARY		
ZONING: RS-12 PRIMARY USE: SINGLE-FAMILY DWELLING WITH ADU		
DIMENSIONAL REQUIREMENTS		
STANDARD	EMC REQUIREMENT	PROJ. PROV.
MIN. LOT AREA	12,000 SF	34,000 SF
MAX. DENSITY	3.7 D U/AC	2.5 D U/AC
MIN. LOT WIDTH	80 FEET	75 FEET
FRONT SETBACK	25- FEET	53.3 FEET
SIDE YARD SETBACK	10- FEET	10 FT-W;131 FT-E
REAR SETBACK	25- FEET	61 FEET
MAX. HEIGHT	25 FEET	24.5 FEET
MAX. BUILDING COVERAGE	35%	6.6%
MIN. PARKING	2 SPACES	4 SPACES
<p>16.20.050 SITE DEVELOPMENT STANDARDS - ACCESSORY BUILDINGS</p> <p>A. ACCESSORY STRUCTURE DESIGNED TO MEET ALL STANDARDS OF CHAPTER 16.20</p> <p>B. ACCESSORY STRUCTURE IS LESS THAN 10- FEET FROM PRIMARY DWELLING AND ATACHED BY A BREEZEWAY - HEIGHT IS LESS THAN 25- FEET PER 16.20.030</p> <p>C. STRUCTURE IS LARGER HAN 600 SQUARE FEET, BUT MEETS THE 10- FOOT SIDE YARD SETBACKS</p> <p>NO OTHER PROVISION OF THIS SECTION APPLIES.</p> <p>CHAPTER 20.21</p> <p>AN AFFIDAVIT AND COVENANT WILL BE PROVIDED TO THE CITY PRIOR TO APPROVAL OF THE ADU PERMIT APPLICATION AS REQUIRED.</p> <p>20.21.030 CRITERIA FOR ATTACHED</p> <p>C. NO MORE THAN ONE ADU IS BEING PROPOSED</p> <p>ADU LIVABLE FLOOR AREA IS LESS THAN 800 SQ. FT. WITH ONLY ONE BEDROOM, AND LOCATED ON ONE FLOOR.</p> <p>D. THE OWNER IS PALNNING ON RESIDING THE PRINCIPAL DWELLING UNIT AT THE SAME TIME AS CONSTRUCTING THE ADU. THE DESIGN OF THE 2 BUILDINGS HAS BEEN LOOKED AT AS UNIFORM AND COMPLIMENTARY. THE PRIMARY ENTRANCE TO THE ADU DOES NOT FACE THE FRONT OF THE PROPERTY OR TAKE AWAY FROM THE PRIMARY DWELLING ENTRANCE.</p> <p>E. THE ADU IS PROVIDED WITH 2 PARKING SPACES IN THE GARAGE BELOW.</p> <p>F. THE PRIMARY DWELLING OR THE ADU WILL BE OCCUPIED BY THE OWNER - A COVENANT WILL BE PROVIDED.</p>		

9125 196TH ST. SW EDMONDS, WA 98026

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PROJ. NO: 23018					
PERMIT					
DRAWN BY: RBC					
CHECKED BY: MUG					
PROJ./ISS. DATE: 03/3/22					
SCALE: 1/4" = 1'-0"					
COVERSHEET					
G0.00					



EDMONDS ZONING SUMMARY

ZONING: RS-12
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CHAPTER 20.21
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SITE PLAN NOTES

- SUBSOIL DRAINS SHALL BE OPEN-JOINTED, HORIZONTALLY SPLIT OR PERFORATED PIPE CONFORMING TO ONE OF THE STANDARDS IN TABLE P3302.1
- SUBSOIL DRAINS SHALL NOT BE LESS THAN 4" IN DIAMETER
- WHERE THE BUILDIGN IS SUBJECT TO BACKWATER, THE SUBSOIL DRAIN SHALL BE PROVIDED WITH A BACKWATER VALVE IN A REACHABLE LOCATION
- SUBSOIL DRAINS SHALL DISCHARGE TO A TRAPPED AREA DRAIN, SUMP, DRY WELL, OR APPROVED LOCATION ABOVE GROUND
- WHERE SUBSOIL DRAINS DISCHARGE TO A SUMP THE SUBSOIL SUMP SHALL HAVE A GAS-TIGHT COVER OR A VENT
- SUMP PUMPS SHALL BE OF A CAPACITY AND HEAD APPROPRIATE TO ANTICIPATED USE REQUIREMENTS
- SUMP PITS SHALL NOT BE LESS THAN 18" IN DIAMETER AND 24" DEEP
- SUMP PITS SHALL BE LOCATED SO THAT ALL DRAINAGE FLOWS INTO THE SUMP BY GRAVITY AND SO THAT THE PUMP IS READILY AVAILABLE
- ELECTRICAL OUTLETS FOR SUMP PUMPS SHALL MEET CHAPTERS 34.43
- DISCHARGE PIPING FOR SUMP PUMPS SHALL MEET THE REQUIREMENTS OF IRC SECTIONS P3002.1, P3002.2, P3002.3 AND P3003
- SEE CIVIL DRAWINGS FOR EXTENT OF THE SITE WORK AND UTILITY CONNECTIONS
- ALL LANDSCAPING ON SITE TO REMAIN EXCEPT AS INDICATED
- SEE SURVEY SHEETS FOR EASEMENTS AND LIMITS OF SITE ACCESS TO ROAD SYSTEM
- REUSE EXISTING WATER METER AT STREET, SEE SURVEY FOR LOCATION

AVERAGE GRADE

$$= (A+B+C+D)/4$$
$$= (316.9+315.1+308.4+315.2)/4$$
$$= 1255.6/4$$
$$= 313.9'$$

PERMIT APPROVAL STAMPS

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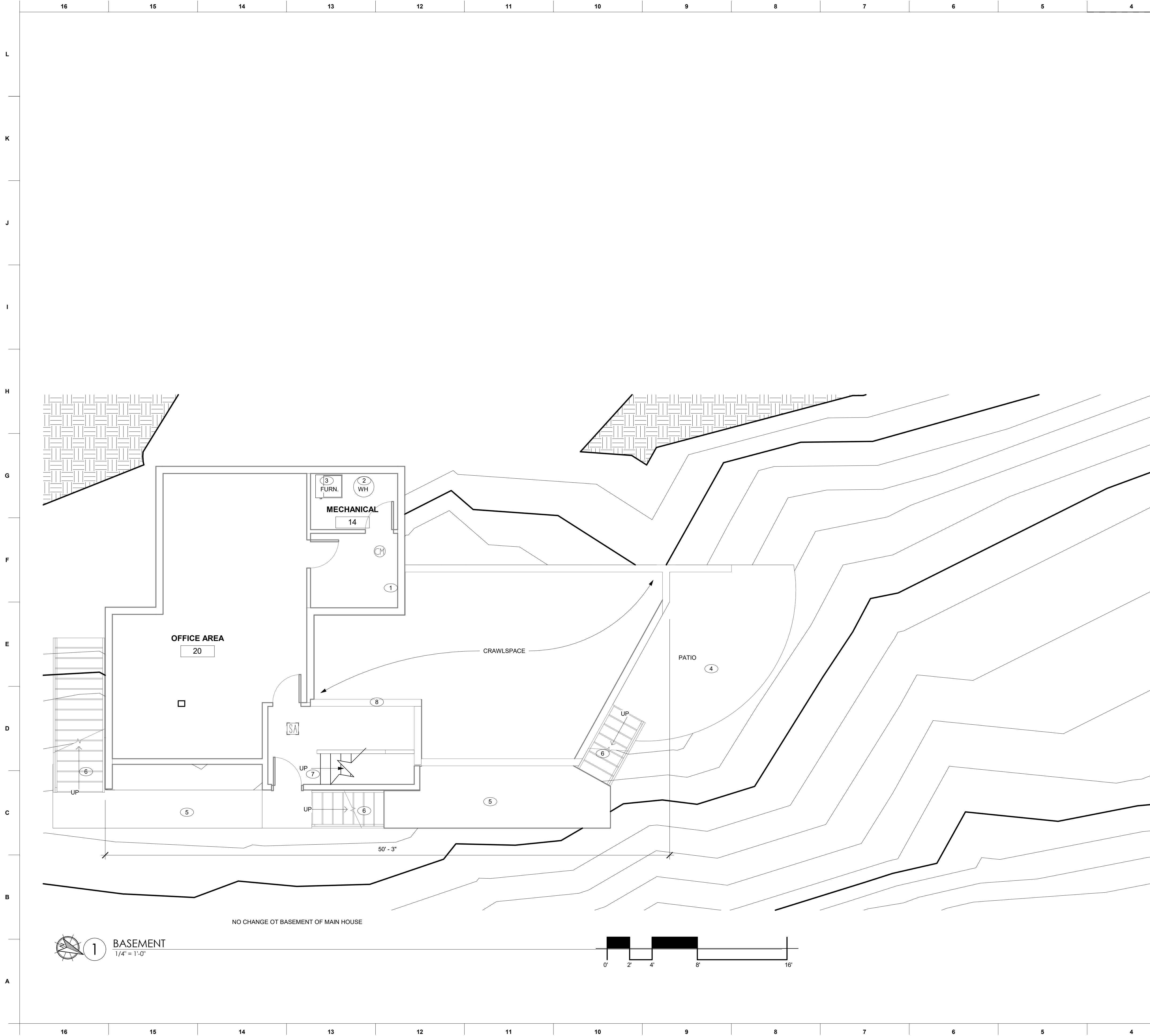
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ISSUE DATE: 09/20/18
SCALE: As Indicated

SITE PLAN

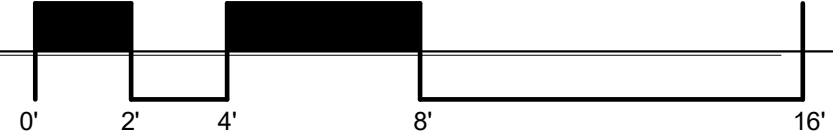
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1 BASEMENT
1/4" = 1'-0"



FLOOR PLAN NOTES

- 6 MIL-THICK POLYETHYLENE FILM SHALL BE APPLIED OVER THE BELOW GRADE PORTION OF EXTERIOR FOUNDATION WALLS PRIOR TO BACKFILLING WITH JOINTS OVERLAPPED 6" AND SEALED WITH ADHEASIVE. THE TOP EDGE OF THE FILM TO BE BONDED WITH TO THE WALL SHEATHING. FILM EXPOSED ABOVE GRADE SHALL BE PROTECTED BE AN APPROPRIATE ARCHITECTURAL TREATMENT (IRC R406.3.2)
- ALL MATERIALS AND FINISHES TO BE APPROVED BY OWNER PRIOR TO INSTALL.
- CONTRACTOR TO VERIFY ALL ROUGH-IN DIMENSIONS FOR ALL EQUIPMENT & FIXTURES FURNISHED AND INSTALLED
- CONTRACTOR SHALL PROVIDE NECESSARY BACKING TO SECURE ANY FIXTURE OR EQUIPMENT TO STRUCTURE AND PROVIDE BACKING FOR EQUIPMENT AND ACCESSORY SUPPORT FOR THE FOLLOWING: SHELVING, LAVATORIES, CABINETS AND CASEWORK, TOILET ACCESSORIES, CLOSET ACCESSORIES, STAIR & AHNDRAILS, GARMENT HOOKS, BRAB BARS, PICTURES/ARTWORK, HEADBOARDS, DOOR AND FINISH WARDWARE AND ANY OTHER WALL AND CEILING MOUNTED ITEMS.
- IN SEISMIC ZONES D0, D1, & D2, WATER HEATERS AND FURNACES SHALL BE ANCHORED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER ONE THIRD AND LOWER ONE-THIRD OF ITS VERTICAL DIMENSIONS PER IBC 1613
- WINDOW AND DOOR HEADERS SHALL BE INSULATED WITH A MINIMUM OF R-10 INSULATION
- SEE SITE PLAN FOR BUILDING ACCESS AND EGRESS PATHWAYS.
- WASHING MACHINE TO BE PLACED ON DRIP PAN
- A 30" WIDE BY 30" DEEP LEVEL WORKING SURFACE AND ACCESS TO ALL APPLIANCES FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT SHALL BE PROVIDED THAT IS AT LEAST AS HIGH AS THE TALLEST APPLIANCE IN THE SPACE, BUT NOT LESS THAN 30" IN HEIGHT
- PIPES PENETRATING EXTERIOR WALLS OR WATERPROOF SEALS SHALL BE MADE WATERPROOF BY USE OF WATERPROOF SEALANT OR BY FLASHING WITH AN APPROVED ELASTOMERIC MATERIAL (P2507)
- HABITABLE ROOMS OTHER THAN KITCHENS SHALL HAVE AN AREA NOT LESS THAN 70 SQ. FT. AND SHALL NOT BE LESS THAN 7 FEET IN ANY HORIZONTAL DIMENSION.
-

FLOOR PLAN KEYNOTES

- ELECTRICAL PANEL (EXISTING TO REMAIN)
- WATER HEATER - EXISTING TO REMAIN
- FURNACE - EXISTING TO REMAIN
- PATIO
- EXISTING WOOD WALK
- EXTERIOR STAIR
- INTERIOR STAIR
- CRAWLSPACE ACCESS

FLOOR PLAN LEGEND

- NEW / INFILL WALL
- EXISTING WALL
- SA SMOKE ALARM
- CM CARBON MONOXIDE ALARM

PERMIT APPROVAL STAMPS

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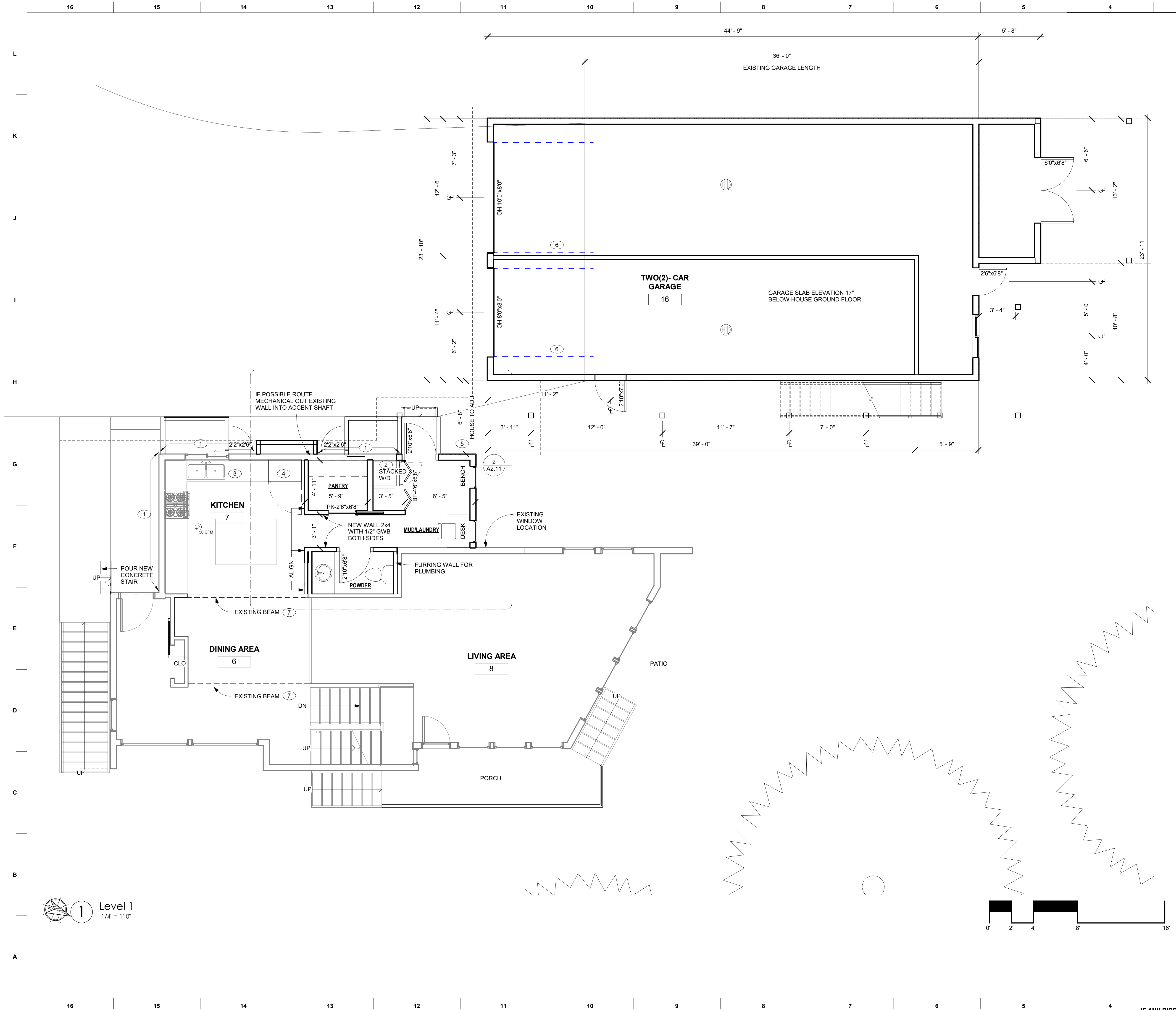
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ISSUE DATE: 07/01/21
SCALE: 1/4" = 1'-0"

BASEMENT PLAN

A2.00



FLOOR PLAN NOTES

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-

FLOOR PLAN KEYNOTES

- REMOVE EXISTING SIDING AND REPLACE WITH VERTICALLY ORIENTED THERMALLY MODIFIED WOOD SIDING
- WASHER AND DRYER (ENERGY STAR)
- DISHWASHER (ENERGY STAR)
- REFRIGERATOR (ENERGY STAR)
- TRASH AND RECYCLE
- OUTLINE OF GARAGE DOOR ABOVE
- CEILING HEADER ABOVE

PERMIT APPROVAL STAMPS

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ISSUE DATE: 03/03/22
SCALE: 1/4" = 1'-0"

LEVEL 1- FLOOR
PLAN

A2.10

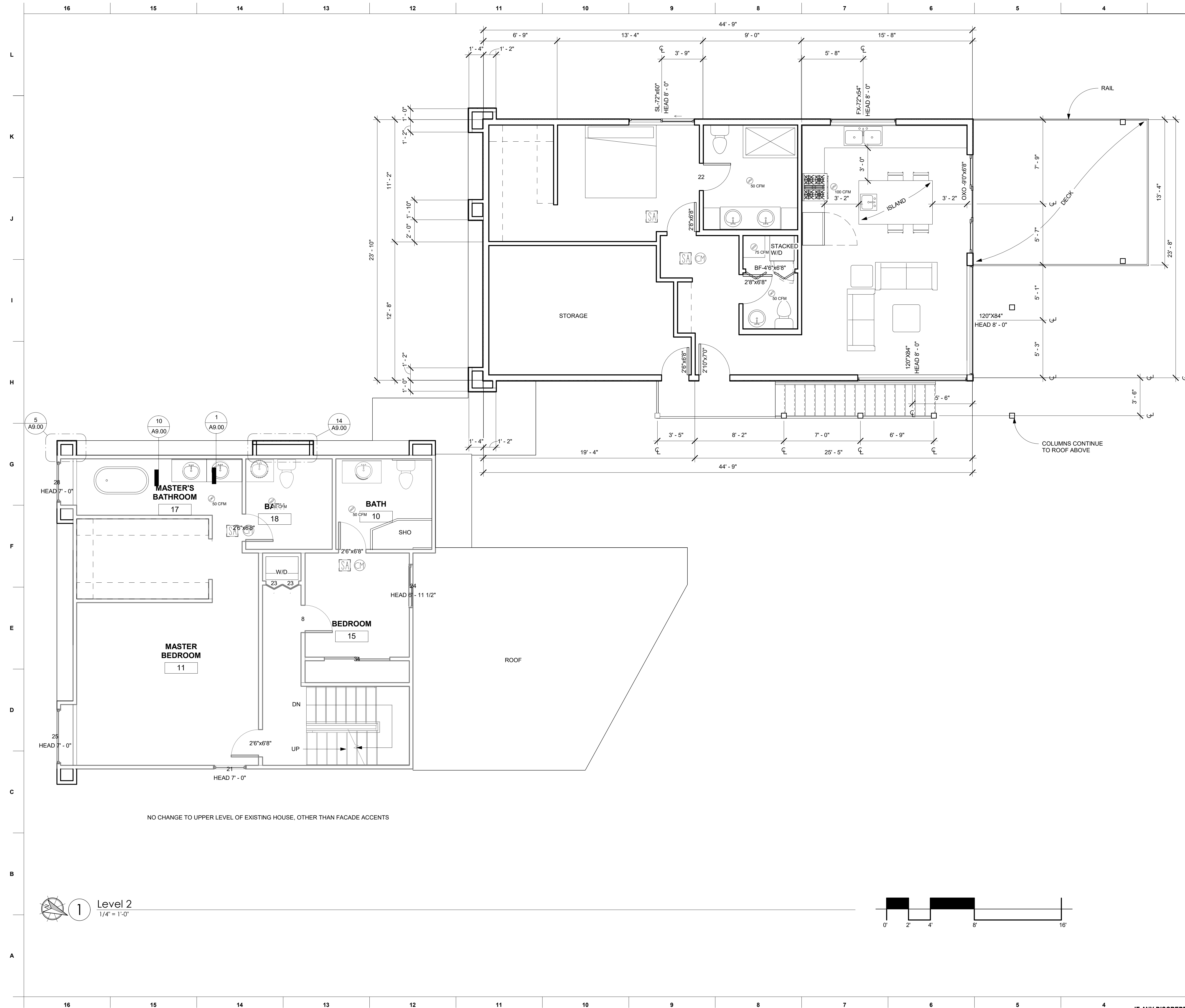
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1/29/2024 1:39:07 PM

IF ANY DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT IMMEDIATELY. VERIFY CONDITIONS AND DIMENSIONS IN FIELD.



NO CHANGE TO UPPER LEVEL OF EXISTING HOUSE, OTHER THAN FACADE ACCENTS

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**LEVEL 2-FLOOR
PLAN**

A2.20

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EDMONDS ZONING SUMMARY

ZONING: RS-12
PRIMARY USE: SINGLE-FAMILY DWELLING WITH ADU

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SITE PLAN NOTES

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2. SUBSOIL DRAINS SHALL NOT BE LESS THAN 4" IN DIAMETER

3. WHERE THE BUILDIGN IS SUBJECT TO BACKWATER, THE SUBSOIL DRAIN SHALL BE PROVIDED WITH A BACKWATER VALVE IN A REACHABLE LOCATION

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6. SUMP PUMPS SHALL BE OF A CAPACITY AND HEAD APPROPRIATE TO ANTICIPATED USE REQUIREMENTS

7. SUMP PITS SHALL NOT BE LESS THAN 18" IN DIAMETER AND 24" DEEP

8. SUMP PITS SHALL BE LOCATED SO THAT ALL DRAINAGE FLOWS INTO THE SUMP BY GRAVITY AND SO THAT THE PUMP IS READILY AVAILABLE

9. ELECTRICAL OUTLETS FOR SUMP PUMPS SHALL MEET CHAPTERS 34.43

10. DISCHARGE PIPING FOR SUMP PUMPS SHALL MEET THE REQUIREMENTS OF IRC SECTIONS P3002.1, P3002.2, P3002.3 AND P3003

11. SEE CIVIL DRAWINGS FOR EXTENT OF THE SITE WORK AND UTILITY CONNECTIONS

12. ALL LANDSCAPING ON SITE TO REMAIN EXCEPT AS INDICATED

13. SEE SURVEY SHEETS FOR EASEMENTS AND LIMITS OF SITE ACCESS TO ROAD SYSTEM

14. REUSE EXISTING WATER METER AT STREET, SEE SURVEY FOR LOCATION

AVERAGE GRADE

= (A+B+C+D)/4
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= 1255.6/4
= 313.9'

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SITE PLAN
A1.00

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IF LINE DOES NOT MEASURE 1" SHEET IS NOT TO SCALE

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Jurisdiction:Edmonds

Project Name: Shelley ADU

Application ID: 1433954

Supplemental Name: Land Use Application

If this is a new parcel or lot that does not yet have an address or a County tax account number, please describe the property and its location (otherwise, you may skip this question):

Please describe the project and/or proposed use(s) you are seeking approval for with this application (you can upload a more detailed file/letter later in the application, as necessary):

Approval for an attached Accessory Dwelling Unit on an existing single-family side

Check the boxes indicating all of the related approvals you are seeking for this project (including this application). NOTE THAT A SEPARATE APPLICATION IS REQUIRED FOR EACH APPROVAL.

ADU - Conditional Use